

APPROVED FINAL TRACT MAP | 29 LOTS | FALLBROOK, CA

HOME

PROPERTY
INFO

AERIALS/
MAPS

PHOTOS

TM/
SITE PLAN

FINAL MAP

FINAL
ENGINEERING

PLAT MAP

COMPS/
MARKET INFO

SUBMIT ALL OFFERS

- Final Engineering Complete
- 11,000 SF Minimum Lot Size
- 22 Acre Site
- Approximately \$30,500 in Net Income from Lemon Grove in Last 6 Months
- No Affordable Units
- Environmental Permits in Place



COMMERCIAL REAL ESTATE SERVICES

1900 Wright Place, Suite 200 | Carlsbad, CA 92008

T: 760.929.9700 | F: 760.929.9977

MATT WEAVER

mweaver@lee-associates.com

(760) 448-2458

CalBRE Lic# 01367183

AL APUZZO

aapuzzo@lee-associates.com

(760) 448-2442

CalBRE Lic# 01323215

PATRICK MILLER, CCIM

pmiller@lee-associates.com

(760) 929-9700

CalBRE Lic# 00296599

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Location:	This property is located south of W Dougherty Street near Shady Lane and Rosvall Drive.	
Thomas Guide:	1027 E2	
Jurisdiction:	County of San Diego	
APN #'s:	103-101-01, 02, 03, 04	
Acreage:	22 Acres	
Project Size:	28 Lot Map + 1 Buildable Lot Adjacent to Property	
Min. Lot Size:	.25 Acres	
Affordable Units:	No Affordable Units Required	
Existing Income:	Approximately \$30,500 in net income from Lemon Grove in last 6 months.	
Project Status:	The final map was approved on January 6 th , 2016 by Seller and grading permit is ready to be issued. The map was recently updated to SWPPP requirements including 4 bio retention basins for storm water treatment and hydromodification. A buyer will need to replace the bonds.	
Services:	Water/Sewer	Fallbrook Public Water District
	Gas/Electricity	San Diego Gas & Electric
	Fire	North County Fire Protection District
	Police	San Diego County Sheriff's Dept.
	Telephone	Pacific Bell
	School District:	Fallbrook Elementary School District / Fallbrook High School District
Sale Price:	Submit All Offers	



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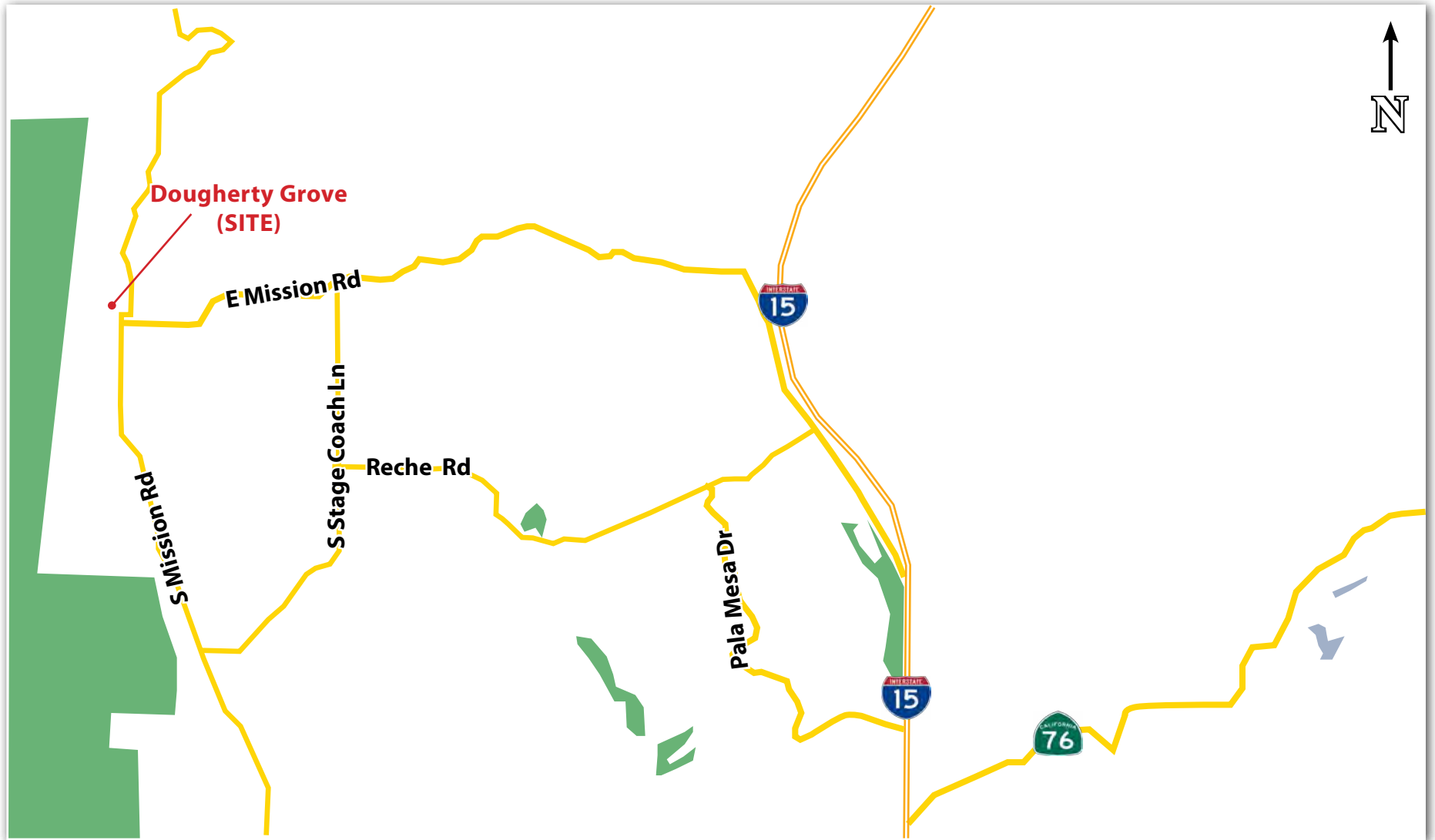
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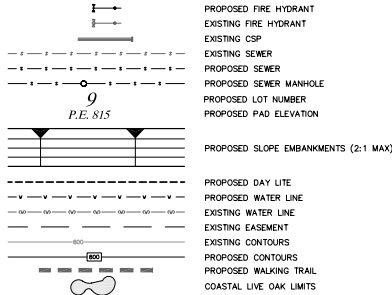
pmiller@lee-associates.com

(760) 929-9700

CalBRE Lic# 00296599

CLICK HERE TO VIEW FULL TENTATIVE MAP

LEGEND



OWNERS / SUBDIVIDER

WE HEREBY CERTIFY THAT WE ARE THE RECORD OWNERS OF THE PROPERTY SHOWN ON THIS TENTATIVE SUBDIVISION MAP AND THAT SAID MAP SHOWS OUR ENTIRE CONTIGUOUS OWNERSHIP (EXCLUDING SUBDIVISION LOTS)...

NAME: FALLBROOK DEVELOPMENT, INC. ADDRESS: 721 PIER VIEW WAY, OCEANSIDE, CA, 92054 (760) 721-8850

OWNER/SUBDIVIDER DATE

ENGINEER OF WORK

bha inc. land planning, civil engineering, surveying 5115 AVENIDA ENCINAS SUITE 111 CARLSBAD, CA 92008-4387 (760) 931-8700

RONALD L. HOLLOWAY RCE 29271 EXP. 3-31-07 DATE

AERIAL TOPOGRAPHY

FLOWN BY: SAN LO AERIALS DATED: JUNE 6, 1990

EARTHWORK QUANTITIES

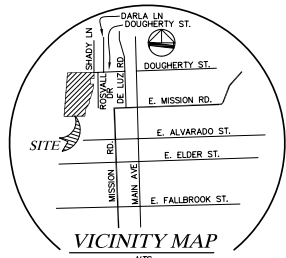
CUT: 86,000cu EXPORT: 22,000cu FILL: 64,000cu

ASSESSOR'S PARCEL NUMBERS

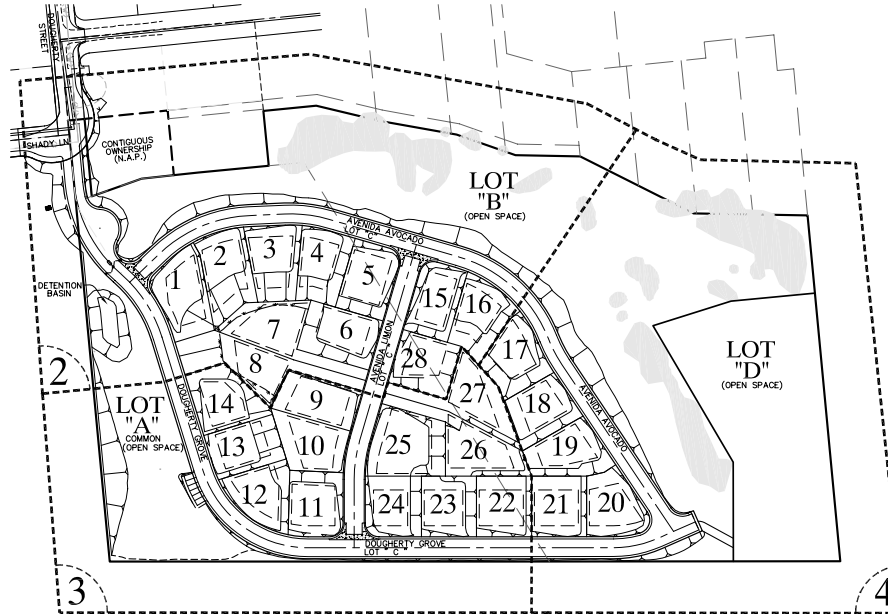
103-101-01, 02 AND 03 TAX RATE CODE: 75064 AND 75073

LEGAL DESCRIPTION

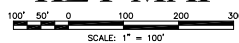
THOSE PORTIONS OF RANCHO SANTA MARGARITA Y LAS FLORES AS DELINEATED UPON A MAP RECORDED IN BOOK 7, PAGE 39 OF PATENTS AND AS SHOWN BY RECORD OF SURVEY MAPS 794 AND 831 IN THE RECORDER'S OFFICE...



TENTATIVE SUBDIVISION MAP COUNTY OF SAN DIEGO TRACT NO. 5339

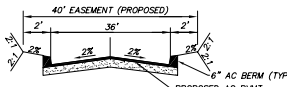


KEY MAP

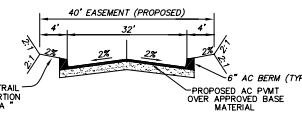


EASEMENT NOTES

- ITEM#2 PR#03650852-499-503, DATED SEPT 22, 2003, AN EASEMENT FOR PUBLIC UTILITIES INGRESS AND EGRESS TO SD#46, RECORDED MAY 14, 1929 IN BOOK 1626, PAGE 331 OF DEEDS...



TYPICAL SECTION AVENIDA LIMON



TYPICAL SECTION DOUGHTERY GROVE AVENIDA AVOCADO (PRVT "LOT C")

GENERAL NOTES

- 1. ALL INTERNAL STREETS WILL BE PRIVATE. 2. GRADING AND IMPROVEMENTS SHALL BE IN ACCORDANCE WITH COUNTY STANDARDS. 3. EASEMENTS OF RECORD NOT SHOWN HEREON SHALL BE HONORED...

PARK LAND DEDICATION STATEMENT

NO PARKLAND DEDICATION IS BEING PROPOSED

SPECIAL ASSESSMENT STATEMENT

NO SPECIAL ASSESSMENT ACT PROCEEDING IS REQUESTED FOR THIS PROJECT

SOLAR ACCESS STATEMENT

THIS IS A SOLAR SUBDIVISION AS REQUIRED BY SECTION 81.401 (M) OF THE SUBDIVISION ORDINANCE. ALL LOTS HAVE AT LEAST 100 SQUARE FEET OF UNOBSTRUCTED ACCESS TO SUNLIGHT ON THE BUILDABLE PORTION OF THE LOT.

STREET LIGHTING STATEMENT

NO STREET LIGHTS ARE PROPOSED - PRIVATE STREETS

ACCESS

ACCESS IS FROM DOUGHTERY ST., WHICH IS A PUBLICLY MAINTAINED ROAD, TO THE BOUNDARY OF THE SUBJECT PROPERTY.

NOTE:

THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON...

SHEET 1 OF 4

Table with columns: No., Description, Approved by, Date. Under the heading REVISIONS.

CLICK HERE TO VIEW FULL FINAL MAP

COUNTY OF SAN DIEGO TRACT NO. 5339-1

SHEET 1 OF 11 SHEETS

WE HEREBY STATE THAT WE ARE THE OWNERS OF OR ARE INTERESTED IN THE LAND SUBDIVIDED BY THIS MAP AND WE CONSENT TO THE PREPARATION AND RECORDATION OF THIS MAP...

WE HEREBY DEDICATE TO THE PUBLIC WEST DOUGHERTY STREET FOR USE AS A STREET AS SHOWN ON SAID MAP TOGETHER WITH THE RIGHT TO EXTEND AND MAINTAIN DRAINAGE FACILITIES...

WE HEREBY GRANT TO THE COUNTY OF SAN DIEGO A PERPETUAL EASEMENT OVER, UPON AND ACROSS THE PORTIONS OF LOT 1 AND LOT 8 IN AND TO DOUGHERTY GROVE AND LOTS 5,11,15 AND 24 IN & TO AVENIDA LIMON OVER LOT 20 IN & TO AVENIDA AVOCADO ALL AS DELINEATED ON THIS MAP AND DESIGNATED HEREON AS AN ACCESS RESTRICTION EASEMENT...

WE HEREBY GRANT TO THE COUNTY OF SAN DIEGO A PERPETUAL EASEMENT FOR OPEN SPACE OVER THAT AREA SHOWN AS OPEN SPACE EASEMENT AREA "A" FOR BIOLOGICAL PURPOSES OVER A PORTION OF LOT 33 AND LOT 34. THIS EASEMENT IS FOR THE PROTECTION OF BIOLOGICAL RESOURCES AND PROHIBITS ALL OF THE FOLLOWING ON ANY PORTION OF THE LAND SUBJECT TO SAID EASEMENT: GRADING; EXCAVATION; PLACEMENT OF SOIL, SAND, ROCK, GRAVEL OR OTHER MATERIAL...

THE SOLE EXCEPTIONS TO THIS PROHIBITION FOR AREA "A" ONLY ARE:

1. SELECTIVE CLEARING OF VEGETATION BY HAND TO THE EXTENT REQUIRED BY WRITTEN ORDER OF THE FIRE AUTHORITIES FOR THE EXPRESS PURPOSE OF REDUCING AN IDENTIFIED FIRE HAZARD. WHILE CLEARING FOR FIRE MANAGEMENT IS NOT ANTICIPATED WITH THE CREATION OF THIS EASEMENT, SUCH CLEARING MAY BE DEEMED NECESSARY IN THE FUTURE FOR THE SAFETY OF LIVES AND PROPERTY...

2. ACTIVITIES CONDUCTED PURSUANT TO A REVEGETATION OR HABITAT MANAGEMENT PLAN APPROVED BY THE DIRECTOR OF PLANNING AND LAND USE.

3. PASSIVE RECREATION LIMITED TO 5 FOOT WIDE FOOTPATH AND FENCING AS SHOWN ON THE LANDSCAPE PLAN TO BE APPROVED PURSUANT TO THE MAINTENANCE PERMIT AS CONSISTENT WITH THE APPROVED CONCEPTUAL LANDSCAPE PLAN THEREOF.

WE HEREBY GRANT TO THE COUNTY OF SAN DIEGO A PERPETUAL EASEMENT FOR OPEN SPACE FOR THAT AREA SHOWN AS OPEN SPACE EASEMENT AREA "B" FOR A LIMITED BUILDING ZONE EASEMENT OVER A PORTION OF LOT 1, LOT 8, LOT 11 THROUGH LOT 14 INCLUSIVE, LOT 20 THROUGH LOT 24 INCLUSIVE, AND LOT 32 THROUGH LOT 33 INCLUSIVE. THE PURPOSE OF THIS EASEMENT IS TO LIMIT THE NEED TO CLEAR OR MOWIFY VEGETATION FOR FIRE PROTECTION PURPOSES WITHIN THE ADJACENT BIOLOGICAL OPEN SPACE EASEMENT AND PROHIBITS THE CONSTRUCTION OR PLACEMENT OF ANY STRUCTURE DESIGNED OR INTENDED FOR OCCUPANCY BY HUMANS OR ANIMALS...

(1) DECKING, FENCES AND SIMILAR FACILITIES.

(2) SHEDS, GAZEBOS AND DETACHED GARAGES, LESS THAN 250 SQUARE FEET IN TOTAL FLOOR AREA, THAT ARE DESIGNED, CONSTRUCTED AND PLACED SO THAT THEY DO NOT REQUIRE CLEARING OR FUEL MODIFICATION WITHIN THE BIOLOGICAL OPEN SPACE EASEMENT, BEYOND THE CLEARING/FUEL MODIFICATION REQUIRED FOR THE PRIMARY STRUCTURES ON THE PROPERTY.

(CONTINUED NEXT COLUMN)

BEING A SUBDIVISION OF THOSE PORTIONS OF RANCHO MARGARITA Y LAS FLORES ACCORDING TO THE MAP THEREOF IN BOOK 7, PAGE 39 OF PATENTS AND SHOWN BY RECORD OF SURVEY MAPS 794 AND 831 AND THOSE PORTIONS OF LOT 1 SECTION 24, TOWNSHIP 9 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA

SEE BOUNDARY ADJUSTMENT PLAT 91-0015 FILED UNDER CERTIFICATE OF COMPLIANCE RECORDED 4-19-91 AS DOC. NO. 1991-0177724, O.R. SEE BOUNDARY ADJUSTMENT PLAT 84-0093 FILED UNDER CERTIFICATE OF COMPLIANCE RECORDED 2-22-85 AS DOC. NO. 1985-059144, O.R.

SUBDIVISION GUARANTEE FOR THIS SUBDIVISION IS FURNISHED BY FIRST AMERICAN TITLE COMPANY AS ORDER NO. 2754138 (11).

THE COUNTY OF SAN DIEGO SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE LAND SUBJECT TO THESE EASEMENTS AND REMOVE ANY MATERIAL, STRUCTURE OR OTHER THINGS PLACED OR MAINTAINED CONTRARY TO THE TERMS OF THESE EASEMENTS...

THIS SUBDIVISION IS FILED PURSUANT TO THE SUBDIVISION MAP ACT AND MAJOR USE PERMIT NO. 03-112 GRANTED BY ORDER OF THE SAN DIEGO COUNTY PLANNING COMMISSION ON DECEMBER 16, 2005.

DOUGHERTY CITRUS, INC., A CALIFORNIA CORPORATION, AS OWNER.

BY: PAUL W. DOOLEY, PRESIDENT

BY: MARK BENJAMIN, SECRETARY

THE SIGNATURES OF THE PARTIES LISTED BELOW, OWNERS OF EASEMENTS PER DOCUMENTS LISTED BELOW, HAVE BEEN OMITTED UNDER THE PROVISIONS OF SECTION 66436 SUBSECTION (a) (3) (A) (i) OF THE SUBDIVISION MAP ACT...

SAN DIEGO GAS AND ELECTRIC HOLDER AN EASEMENT RECORDED MAY 14, 1929, IN BOOK 1626 OF DEEDS.

CHRISTIAN A. TRAUB, ET UX HOLDER OF AN EASEMENT RECORDED JULY 3, 1928 PER BOOK 1495 OF DEEDS PAGE 260.

RAINBOW 60, A CALIFORNIA CORPORATION HOLDER OF AN EASEMENT RECORDED NOVEMBER 14, 2005 AS INSTRUMENT NO. 2005-0983600 OF OFFICIAL RECORDS.

COUNTY OF SAN DIEGO, HOLDER OF AN AVIGATION EASEMENT RECORDED MAY 30, 2008 PER DOCUMENT NO. 2008-0291763 OF OFFICIAL RECORDS.

FALLBROOK PUBLIC UTILITY DISTRICT, HOLDER OF A PUBLIC UTILITY & ACCESS EASEMENT RECORDED JUNE 06, 2008 AS DOCUMENT NO. 2008-0306324 OF OFFICIAL RECORDS.

COUNTY OF SAN DIEGO, HOLDER OF A STORMWATER FACILITIES MAINTENANCE AND ACCESS EASEMENT RECORDED PER DOCUMENT NO. 2013- OF OFFICIAL RECORDS.

WE, COUNTY TREASURER-TAX COLLECTOR OF THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND DIRECTOR, DEPARTMENT OF PUBLIC WORKS OF SAID COUNTY, HEREBY CERTIFY THAT THERE ARE NO UNPAID SPECIAL ASSESSMENTS OR BONDS WHICH MAY BE PAID IN FULL, SHOWN BY THE BOOKS OF OUR OFFICES, AGAINST THE TRACT OR SUBDIVISION OR ANY PART THEREOF SHOWN ON THE ANNEXED MAP AND DESCRIBED IN THE CAPTION THEREOF.

DAN McALLISTER COUNTY TREASURER-TAX COLLECTOR BY: DEPUTY DATED:

RICHARD E. CROMPTON DIRECTOR OF PUBLIC WORKS BY: FOR DIRECTOR DATED:

STATE OF CALIFORNIA COUNTY OF SAN DIEGO

ON BEFORE ME, NOTARY PUBLIC, PERSONALLY APPEARED

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAMES(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES), AND HIS /HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND

SIGNATURE

PRINT NAME A NOTARY PUBLIC IN AND FOR SAID STATE.

PRINCIPAL PLACE OF BUSINESS IS COUNTY OF

COMMISSION EXPIRES:

COMMISSION # OF NOTARY:

I, ARMAND A. MAROIS, A PROFESSIONAL LAND SURVEYOR, STATE THAT THE SURVEY OF THIS SUBDIVISION WAS MADE BY ME OR UNDER MY DIRECTION, OCTOBER 2004-MAY 2007, AND SAID SURVEY IS TRUE AND COMPLETE AS SHOWN; THAT MONUMENTS OF THE CHARACTER INDICATED HAVE BEEN SET OR FOUND AT THE SUBDIVISION BOUNDARY CORNERS...



ARMAND A. MAROIS, P.L.S. 5941 PROFESSIONAL LAND SURVEYOR

DATED:

I, TERRENCE T. CONNORS, COUNTY SURVEYOR, STATE THAT I HAVE EXAMINED THIS MAP; THAT THE SUBDIVISION IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, AND ANY APPROVED ALTERATIONS THEREOF; THAT ALL THE PROVISIONS OF THE SUBDIVISION MAP ACT AND DIVISION 1 OF TITLE 8 OF THE SAN DIEGO COUNTY CODE HAVE BEEN COMPLIED WITH; AND THAT I AM SATISFIED THAT THIS MAP IS TECHNICALLY CORRECT.

TERRENCE T. CONNORS, P.L.S. 5099 COUNTY SURVEYOR

DATED:

I, THOMAS J. PASTUSZKA, CLERK OF THE BOARD OF SUPERVISORS, HEREBY CERTIFY THAT THE PROVISIONS OF THE SUBDIVISION MAP ACT (DIVISION 2 OF TITLE 7 OF THE GOVERNMENT CODE) REGARDING (A) DEPOSITS FOR TAXES AND (B) CERTIFICATION OF THE ABSENCE OF LIENS FOR UNPAID STATE, COUNTY, MUNICIPAL OR LOCAL TAXES OR SPECIAL ASSESSMENTS COLLECTED AS TAXES EXCEPT THOSE NOT YET PAYABLE, HAVE BEEN COMPLIED WITH.

THOMAS J. PASTUSZKA CLERK OF THE BOARD OF SUPERVISORS

DATED:

BY: DEPUTY

FILE NO.

FILED THIS DAY OF AT O'CLOCK, M. IN BOOK OF MAPS AT PAGE AT THE REQUEST OF ARMAND A. MAROIS.

ERNEST J. DRONENBURG, JR. COUNTY RECORDER

BY: DEPUTY

FEE \$30.00

THOMAS J. PASTUSZKA, CLERK OF THE BOARD OF SUPERVISORS

BY: DEPUTY DATE

CLICK HERE TO VIEW FULL GRADING PLAN

GRADING PLANS FOR: COUNTY OF SAN DIEGO TRACT NO. 5339-RPL 2

GENERAL NOTES

- APPROVAL OF THIS GRADING PLAN DOES NOT CONSTITUTE APPROVAL OF VERTICAL OR HORIZONTAL ALIGNMENT OF ANY PRIVATE ROAD SHOWN HEREON FOR COUNTY ROAD PURPOSES.
- FINAL APPROVAL OF THESE GRADING PLANS IS SUBJECT TO FINAL APPROVAL OF THE ASSOCIATED IMPROVEMENT PLANS WHERE APPLICABLE. FINAL CURB GRADE ELEVATIONS MAY REQUIRE CHANGES IN THESE PLANS.
- IMPORT MATERIAL SHALL BE OBTAINED FROM A LEGAL SITE.
- A CONSTRUCTION EXCAVATION OR ENCROACHMENT PERMIT FROM THE DIRECTOR OF PUBLIC WORKS WILL BE REQUIRED FOR ANY WORK IN THE COUNTY RIGHT-OF-WAY.
- THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. NOTICE OF THE PROPOSED WORK SHALL BE GIVEN TO THE FOLLOWING AGENCIES:
SAN DIEGO GAS AND ELECTRIC 1-800-422-4133
A/E/T: 1-800-422-4133
CITY: 1-619-263-9251
SEWER: FALLBROOK PUBLIC UTILITY DISTRICT 1-760-778-1125
WATER: FALLBROOK PUBLIC UTILITY DISTRICT 1-760-778-1125
- A SOILS REPORT MAY BE REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- APPROVAL OF THESE PLANS BY THE DIRECTOR OF PUBLIC WORKS DOES NOT AUTHORIZE ANY WORK OR GRADING TO BE PERFORMED UNTIL THE PROPERTY OWNER'S PERMISSION HAS BEEN OBTAINED AND A VALID GRADING PERMIT HAS BEEN ISSUED.
- THE DIRECTOR OF PUBLIC WORKS' APPROVAL OF THESE PLANS DOES NOT CONSTITUTE COUNTY BUILDING OFFICIAL APPROVAL OF ANY FOUNDATION FOR STRUCTURES TO BE PLACED ON THE AREA COVERED BY THESE PLANS. NO WAIVER OF THE GRADING ORDINANCE REQUIREMENTS CONCERNING MINIMUM COVER OVER EXPANSIVE SOILS IS MADE OR IMPLIED (SECTIONS 87.403 & 87.401). ANY SUCH WAIVER MUST BE OBTAINED FROM THE DIRECTOR OF PLANNING & LAND USE.
- ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTHMOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED GRADING EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 7:00 a.m. AND 6:00 p.m., EACH DAY MONDAY THROUGH SATURDAY, AND NO WEDDING OR GRADING OPERATIONS SHALL BE CONDUCTED ON THE PREMISES ON SUNDAYS OR COUNTY HOLIDAYS.
- ALL MAJOR SLOPES SHALL BE ROUNDED INTO EXISTING TERRAIN TO PRODUCE A CONTOURED TRANSITION FROM CUT OR FILL FACES TO NATURAL GROUND AND ABUTTING CUT OR FILL SURFACES.
- NOTWITHSTANDING THE MINIMUM STANDARDS SET FORTH IN THE GRADING ORDINANCE AND NOTWITHSTANDING THE APPROVAL OF THESE GRADING PLANS, THE PERMITTEE IS RESPONSIBLE FOR THE PREVENTION OF DAMAGE TO ADJACENT PROPERTY. NO PERSON SHALL EXCAVATE ON LAND SO CLOSE TO THE PROPERTY LINE AS TO ENDANGER ANY ADJACENT PUBLIC STREET, SIDEWALK, ALLEY, FUNCTION OF ANY SEWER DISPOSAL SYSTEM OR ANY OTHER PUBLIC OR PRIVATE PROPERTY WITHOUT SUPPORTING AND PROTECTING SUCH PROPERTY FROM SETTLING, CRACKING, EROSION, SLIDING, SCOUR OR OTHER DAMAGE WHICH MIGHT RESULT FROM THE GRADING DESCRIBED ON THIS PLAN. THE COUNTY WILL HOLD THE PERMITTEE RESPONSIBLE FOR CORRECTION OF NON-DEDICATED IMPROVEMENTS WHICH CAUSE ADJACENT PROPERTY.
- SLOPE RATIOS:
CUT - 1 1/2:1 FOR MAJOR SLOPES
FILL - 2:1 FOR MAJOR SLOPES
SLOPES DEVIATING FROM THE ABOVE WILL REQUIRE APPROVAL OF PUBLIC WORKS AFTER REVIEW OF A REPORT FROM A SOILS ENGINEER AND LANDSCAPE ARCHITECTS' PLANS.
EXCAVATION: 85:400 C.Y. FILL: 78:800 C.Y.
A SEPARATE PERMIT MUST BE OBTAINED FOR WASTE OR IMPURE AREA EXPORT: 16:500 C.Y.
- SPECIAL CONDITION: IF ANY ARCHEOLOGICAL RESOURCES ARE DISCOVERED ON THE SITE OF THIS GRADING DURING GRADING OPERATIONS, SUCH OPERATIONS WILL CEASE IMMEDIATELY, AND THE PERMITTEE WILL NOTIFY THE DIRECTOR OF PUBLIC WORKS OF THE DISCOVERY. GRADING OPERATIONS WILL NOT RECOMMENCE UNTIL THE PERMITTEE HAS RECEIVED WRITTEN AUTHORITY FROM THE DIRECTOR OF PUBLIC WORKS TO DO SO.
- ALL GRADING DETAILS WILL BE DONE IN ACCORDANCE WITH THE SAN DIEGO COUNTY STANDARD DRAWINGS DS-6, DS-10, DS-11, AND D-75.
- ALL SLOPES OVER THREE FEET IN HEIGHT WILL BE PLANTED IN ACCORDANCE WITH SAN DIEGO COUNTY SPECIFICATIONS.
- PERMANENT POST CONSTRUCTION BMP DEVICES SHOW ON PLAN SHALL NOT BE REMOVED OR MODIFIED WITHOUT PERMISSION/APPROVAL OF DEPT. OF PUBLIC WORKS.

KEY MAP LEGEND

SHEET NUMBER: (5)

LOT NUMBER: 9

LOT LINE: _____

SUBDIVISION BOUNDARY: _____

EXISTING CONTOURS: _____

WORK TO BE DONE

GRADING AND DRAINAGE WORK CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS, THE CURRENT SAN DIEGO AREA REGIONAL STANDARD DRAWINGS AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2003 EDITION AND PER SAN DIEGO COUNTY GRADING ORDINANCE.

LEGEND

ITEM	STD. SING. (SING.)	SYMBOL
SUBDIVISION BOUNDARY	---	---
LOT LINE	---	---
EXISTING WATER LINE	---	---
EXISTING SEWER	---	---
EXISTING STORM DRAIN	---	---
EXISTING CONTOURS	---	---
PROPOSED ENGLISH CONTOURS	---	---
PROPOSED LIMITS OF SLOPE	---	---
PROPOSED CUT/FILL LINE	---	---
SLOPE, 2:1 MAX./MIN. CUT/FILL SLOPES	---	---
PROPOSED POC BROW DITCH (TYPE B)	0-75	---
PROPOSED RP RAP ENERGY DISSIPATOR (TYPE 1)	0-40	---
PROPOSED STORM DRAIN	---	---
PROPOSED SIDEWALK UNDERDRAIN	0-27	---
PIPE W/ 2-3" PIPES	---	---
PROPOSED KEYSTONE RETAINING WALL	---	---
PROPOSED FILL LINE ELEVATION	---	---
PROPOSED FINISH GRADE ELEVATION	---	---
PROPOSED DASH LINE (LIMITS OF GRADING)	---	---
PROPOSED FILL DIRECTION	---	---
PROPOSED DG TRAIL	---	---
PROPOSED RAMP	---	---

SPSD - SAN DIEGO REGIONAL STANDARD DRAWING

SOLAR STATEMENT:

THIS IS A SOLAR SUBDIVISION AS REQUIRED BY SECTION 81-401(N), SUBDIVISION ORDINANCE. ALL LOTS HAVE AT LEAST 100 SQ. FT. OF UNOBSTRUCTED ACCESS TO SUNLIGHT ON THE BUILDABLE PORTION OF THE LOT.

SIGNER: _____ DATE: _____

NAME: RONALD L. HOLLOWAY EXP. DATE: 3-31-15
R.C.E. NO. 29271

OWNERS / PERMITTEE

NAME: DOUGHERTY CITRUS, INC.
ADDRESS: 2724 JAMES DRIVE
CARLSBAD, CA 92008
(760) 446-2154

LEGAL DESCRIPTION:

THOSE PORTIONS OF RANCHO SANTA MARGARITA Y LAS FLORES AS DELINEATED UPON A MAP RECORDED IN BOOK 7, PAGE 39 OF PATENTS CARLSBAD, CA, 92008 AND AS SHOWN BY RECORD OF SURVEY MAPS 794 AND 831 IN THE RECORDER'S OFFICE AND THOSE PORTIONS OF LOT 1 IN SECTION 24, TOWNSHIP 9 SOUTH, RANGE 4 WEST, SAN BERNARDINO MERIDIAN, ACCORDING TO THE OFFICIAL PLAT OF SAO LAN D FILED IN THE DISTRICT LAND OFFICE, JULY 31, 1880, ALL BEING IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS DESCRIBED IN PARCEL #1 OF CERTIFICATE OF COMPLIANCE RECORDED FEBRUARY 22, 1985 AS FILE NO. 85-059144 OF OFFICIAL RECORDS.

ASSESSOR'S PARCEL NUMBERS

103-101-01, 02 AND 03

OWNERS CERTIFICATION

IT IS AGREED THAT FIELD CONDITIONS MAY REQUIRE CHANGES TO THESE PLANS. IT IS FURTHER AGREED THAT THE OWNER (DEVELOPER) SHALL HAVE A REGISTERED CIVIL ENGINEER MAKE SUCH CHANGES, ALTERATIONS OR ADDITIONS TO THESE PLANS WHICH THE DIRECTOR OF PUBLIC WORKS DETERMINES ARE NECESSARY AND DESIRABLE FOR THE PROPER COMPLETION OF THE IMPROVEMENTS.

BY: PAUL W. DOOLEY DATE: _____

SITE ADDRESS

420 DOUGHERTY STREET
FALLBROOK, CA 92028

SHEET INDEX

TITLE SHEET	1
NOTES, DETAILS, TYPICAL SECTIONS	2
GRADING PLAN	3-5
EROSION CONTROL PLAN	6-9
DRAINAGE MANAGEMENT AREA MAP	10
RETAINING WALLS	11-15

KEY MAP

SCALE: 1" = 300'

COUNTY OF SAN DIEGO PDS ENVIRONMENTAL

APPROVED FOR COMPLIANCE WITH THE ENVIRONMENTAL REVIEW:

APPROVED BY: _____ DATE: _____

FALLBROOK PUBLIC UTILITY DISTRICT

APPROVED BY: _____ DATE: _____

PERMITS

N.G.I. NO. 9-22038015

REZONE PERMIT NO. N/A

HABITAT LOSS PERMIT N/A

MAJOR USE PERMIT NO. PSE-112

TENTATIVE MAP NO. TM 5339-RPL-2

LANDSCAPE & PROTECTION PLAN: 20200214P-13-012

PRIVACY CONTRACT

SHEET 1 OF 15 SHEETS

COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC WORKS

GRADING PLAN FOR: TM 5339-RPL 2

APPROVED: [Signature] ENGINEER OF WORK

APPROVED: [Signature] COUNTY ENGINEER

DATE: _____

STORMWATER TREATMENT CONTROL BMP'S

DESCRIPTION / TYPE	SHEET	MAINTENANCE CATEGORY	REVISIONS
BIO RETENTION BASIN	3,4,5	FIRST	

VICINITY MAP

NTS
THOMAS GUIDE 1027-E2

CLICK HERE TO VIEW LANDSCAPE PLANS

LANDSCAPE CONSTRUCTION DOCUMENTS FOR: DOUGHERTY GROVE

PDS2013-LP-13-012

GENERAL NOTES

- NOTES ARE DIRECTED TO THE WORK OF THE LANDSCAPE CONTRACTOR UNLESS NOTED ON PLANS.
- WORK INTENDED TO BE UNDER LANDSCAPE CONTRACTOR'S CONTRACT:
 - N.G./NOT IN CONTRACT
 - BY OTHERS
 - EXISTING
- CONTRACTOR SHALL VERIFY WITH LANDSCAPE ARCHITECT THAT PLANS ARE CURRENT AND APPROVED.
- THESE LANDSCAPE AND IRRIGATION PLANS HAVE BEEN CHECKED ONLY FOR COMPLIANCE WITH THE REQUIREMENTS OF THE SHADING ORDINANCE. THE ENGINEER'S SIGNATURE OR APPROVAL DOES NOT CONSTITUTE APPROVAL OF ADDITIONAL LANDSCAPE AND IRRIGATION WHICH IS NOT COVERED BY THESE BUILDING DEPARTMENT CHECK AND APPROVAL.
- THESE PLANS ARE BASED ON SAN DIEGO COUNTY IMPROVEMENT PLANS FOR TH 8894A.
- THE OWNER SHALL PROVIDE A COPY OF THE ENGINEERING SOILS REPORT BY LESBETH AND ASSOCIATES DATED FEBRUARY 21, 2009 TO THE CONTRACTOR WHO SHALL BECOME FAMILIAR WITH THE REPORTS RECOMMENDATIONS PRIOR TO DESIGNING ANY WORK. THE CONTRACTOR SHALL COMPLY WITH THE REPORTS RECOMMENDATIONS AS THEY RELATE TO HIS WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY AND/OR REQUIRED PERMITS AND PAY ALL RELATED FEES AND/OR TAXES REQUIRED TO INSTALL THE WORK ON THESE PLANS.
- THE CONTRACTOR SHALL BE APPROPRIATELY LICENSED AS REQUIRED BY THE STATE IN WHICH THE WORK TAKES PLACE.
- BEFORE INITIATING ANY PHASE OF THE IRRIGATION INSTALLATION, THE CONTRACTOR SHALL VERIFY EXISTENCE, SIZE, AND LOCATION OF ALL RELATED UTILITY SERVICES AND METERS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF WORK, TO BE APPROVED BY OWNER AND LANDSCAPE ARCHITECT, PRIOR TO BEGINNING THE PROJECT. ALL WORK SHALL BE IN ACCORDANCE WITH SAID SCHEDULE.
- THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING THE WORK AND SHALL BE RESPONSIBLE FOR COORDINATING WITH THE OWNER, LANDSCAPE ARCHITECT, GOVERNING AGENCIES AND OTHER TRADES.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY ERRORS, OMISSIONS OR DISCREPANCIES IN EXISTING CONDITIONS OR WITHIN THE PLANS PRIOR TO BEGINNING THE WORK. IMMEDIATE NOTIFICATION WILL BE GIVEN TO THE LANDSCAPE ARCHITECT SHOULD SUCH A CONDITION BE DISCOVERED.
- ALL MATERIAL SHALL BE NEW UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL IMMEDIATELY UPON BEING AWARDED THE CONTRACTOR, MAKE ANY ARRANGEMENTS NECESSARY TO INSURE THAT ALL MATERIALS, CONNECTIONS, AND SUPPLIES WILL BE AVAILABLE IN QUANTITY NECESSARY FOR THIS PROJECT.
- ADDITIONS AND/OR DELETIONS OF MATERIAL AND/OR LABOR SHALL BE MADE AT UNIT PRICES ESTABLISHED WITH THE OWNER PRIOR TO BEGINNING THE WORK.
- NO ALTERNATIONS WILL BE CONSIDERED FOR ITEMS SPECIFICALLY CALLED FOR ON THESE PLANS. DETERMINATION OF "EQUAL" SUBSTITUTIONS SHALL BE MADE ONLY BY THE LANDSCAPE ARCHITECT AND JOB OWNER.
- LANDSCAPE ARCHITECT SHALL BE NOTIFIED NO LESS THAN 48 HOURS IN ADVANCE OF ANY SITE OBSERVATIONS OR MEETINGS.
- SITE OBSERVATIONS AND MEETINGS SHALL INCLUDE:
 - PRE-CONSTRUCTION
 - LANDSCAPE SHADING AND SOIL AMENDING
 - LANDSCAPE CONSTRUCTION
 - IRRIGATION PRESSURE AND COVERAGE TEST
 - SPOTTING OF SPECIEN PLANTS
 - PLANTING AND/OR HYDROSEEDING
 - PRE-MAINTENANCE
 - POST-MAINTENANCE (FINAL)
- "LANDSCAPE" SHALL REFER TO ALL IMPROVEMENTS WITHIN THIS SET OF DOCUMENTS THAT HAVE BEEN DESIGNED BY THIS OFFICE.
- SITE OBSERVATIONS BY THE LANDSCAPE ARCHITECT DURING ANY PHASE OF THIS PROJECT DOES NOT RELIEVE THE CONTRACTOR OF HIS PRIMARY RESPONSIBILITY TO PERFORM ALL WORK IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS AND GOVERNING CODES.
- CONTRACTOR SHALL BE BACK CHARGED FOR LANDSCAPE ARCHITECTS WHEN OBSERVATIONS ARE CALLED FOR AND IT IS FOUND THAT THE WORK IS NOT SUFFICIENTLY READY UPON OBSERVATION OR APPROVEMENT IS NOT KEPT. THIS WILL BE CHARGED ON AN HOURLY BASIS, PLUS TRANSPORTATION, FOOD AND LODGING COSTS, IF ANY, AT THE THEN EXISTING HOURLY RATE FOR PERSONNEL PROVIDED.
- THIS FIRM DOES NOT PRACTICE OR CONSULT IN THE FIELD OF SAFETY ENGINEERING. THIS FIRM DOES NOT PERFORM THE CONTRACTOR'S OPERATIONS AND IS NOT RESPONSIBLE FOR THE SAFETY OF PERSONNEL, OTHER THAN OUR OWN ON THE SITE. THE SAFETY OF OTHERS IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHOULD NOTIFY THE OWNER IF HE CONSIDERS ANY OF THE RECOMMENDED ACTIONS PRESENTED HEREIN TO BE UNSAFE.

OWNER:
DOUGHERTY CITRUS, INC.
3414 STATE STREET, SUITE B
CARLSBAD, CA 92008
(760) 434-4969

LANDSCAPE ARCHITECT:
ADL PLANNING ASSOCIATES
2414 STATE STREET, SUITE C
CARLSBAD, CA 92008
(760) 729-8627

CIVIL ENGINEER:
BHA, INC.
515 AVENIDA ENCINITAS
CARLSBAD, CA 92008-4887
(760) 434-4887

Permit No. **L-15335**
Application No. **4219-032**

LANDSCAPE PLAN

APPROVED BY THE SAN DIEGO COUNTY
DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES

ON **May 2, 2013**

SHEET: *[Signature]*

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE LANDSCAPE ARCHITECT OF WORK FOR THIS PROJECT THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6705 OF BUSINESS AND PROFESSIONS CODE AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE SAN DIEGO COUNTY DEPARTMENT OF HEALTH SERVICES IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS LANDSCAPE ARCHITECT OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

THESE PLANS HAVE BEEN PREPARED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED LANDSCAPE CONCEPT PLAN, WATER CONSERVATION PLAN, FIRE SUPPRESSION PLAN, AND ALL CONDITIONS OF APPROVAL RELATED TO LANDSCAPING.

ADL PLANNING ASSOCIATES
FIRM
2414 STATE STREET, SUITE C
CARLSBAD, CA 92008
ADDRESS
760 / 729-8627
PHONE

ANTHONY D. LAWSON
LANDSCAPE ARCHITECT
2240
LICENSING NO.
[Signature]
SIGNATURE

REVISIONS MUST BE APPROVED BY PUBLIC HEALTH ENGINEER, PLANNING DIRECTOR & DISTRICT ENGINEER PRIOR TO IMPLEMENTATION IN FIELD.

LANDSCAPE ARCHITECT CERTIFICATION

I, ANTHONY D. LAWSON, AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE COUNTY LANDSCAPE WATER CONSERVATION REGULATIONS, IN TITLE 8, DIVISION 6, CHAPTER 7. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

I FIND THIS SHEET CONFORMS TO THE ACCEPTED LANDSCAPE ARCHITECTURAL STANDARDS OF PRACTICE AND IS IN COMPLIANCE WITH THE REQUIREMENTS LISTED IN THE SAN DIEGO COUNTY ZONING ORDINANCE.

PRIOR TO THE APPROVAL OF THE RECORD PLAN, THE LANDSCAPE ARCHITECT SHALL CERTIFY THAT THE LANDSCAPE & IRRIGATION HAS BEEN CONSTRUCTED PER THE APPROVED LANDSCAPE & IRRIGATION AS IS SHOWN HEREON.

BY: ADL PLANNING ASSOCIATES DATE: 05/02/13
NAME: ANTHONY D. LAWSON
ADDRESS: 2414 STATE ST., SUITE C/ CARLSBAD, CA 92008
PHONE #: 760-729-8627

IRRIGATION WATER SUPPLY

THERE IS NO CURRENT SOURCE OF RECYCLED WATER, OR PROVISIONS TO SUPPLY RECYCLED WATER IN THE FUTURE, TO THE SITE FOR USE WITH THE IRRIGATION SYSTEM. THE IRRIGATION SYSTEM WILL BE DESIGNED WITH STANDARD EQUIPMENT AND FITTINGS.



SHEET #	DESCRIPTION
1	TITLE SHEET & GENERAL NOTES
2	IRRIGATION PLAN
3	IRRIGATION PLAN
4	IRRIGATION PLAN
5	IRRIGATION PLAN
6	IRRIGATION PLAN
7	IRRIGATION LEGEND & NOTES
8	IRRIGATION DETAILS
9	IRRIGATION DETAILS
10	IRRIGATION DETAILS
11	PLANTING PLAN
12	PLANTING PLAN
13	PLANTING PLAN
14	PLANTING PLAN
15	PLANTING PLAN
16	PLANTING LEGEND & NOTES
17	PLANTING DETAILS

ADL PLANNING ASSOCIATES



SDC PDS RCVD 06-18-13
LP-13-012

PRIVATE CONTRACT

SHEET 1 OF 17
COUNTY OF SAN DIEGO
DEPARTMENT OF PUBLIC WORKS

TITLE SHEET FOR
DOUGHERTY GROVE
FALLBROOK, CA

CALIFORNIA COORDINATE INDEX 448-1883

DATE: 05/02/2013

SCALE: AS SHOWN

PROJECT NO: L-15335

DATE: 05/02/2013

BY: *[Signature]*

FOR: *[Signature]*

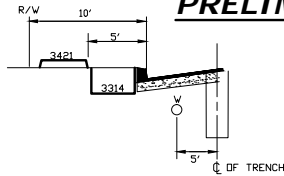
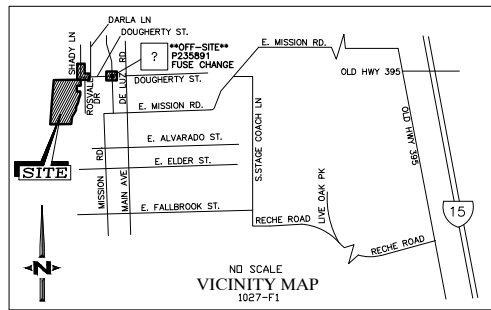
PROJECT NO: **L-15335**

"AS-BUILT"	COUNTY APPROVED CHANGES	BENCH MARK
DATE: _____	DATE: _____	DATE: _____
BY: _____	BY: _____	BY: _____
FOR: _____	FOR: _____	FOR: _____
DATE: _____	DATE: _____	DATE: _____

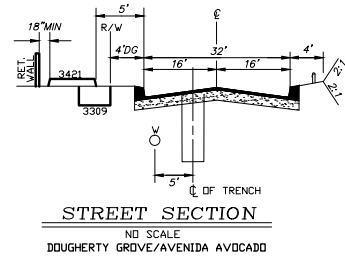
CLICK HERE TO VIEW SDGE PLANS

WEST DOUGHERTY STREET - UG

PRELIMINARY



STREET SECTION



TRANS. LOAD = 20 KVA = 79.3%
TRANS. SIZE = 25 KVA
25 NTS
3421 TRANS.PAD BY CUSTOMER
STA. 520-XXX DXXXXXX
(SET 5' BEHIND CURB)

3416 TERMINATOR PAD DXXXXX BY CUSTOMER
(SET 5' BEHIND CURB - WITH RETAINING WALL)

1-DB4" & 1-DB3" CONDUIT BY CUSTOMER ?
1-DB4" CONDUIT STUB BY CUSTOMER ?
3314 HANDHOLE HXXXXX BY CUSTOMER (CL@APPROX.STA.7+40) ?
1-DB2" & 1-DB3" CONDUIT BY CUSTOMER ?
3421 TRANS.PAD BY CUSTOMER STA. 520-XXX DXXXXXX (SET 5' BEHIND CURB) 7
TRANS. LOAD = 21 KVA = 84.4%
TRANS. SIZE = 25 KVA



STREET SECTION

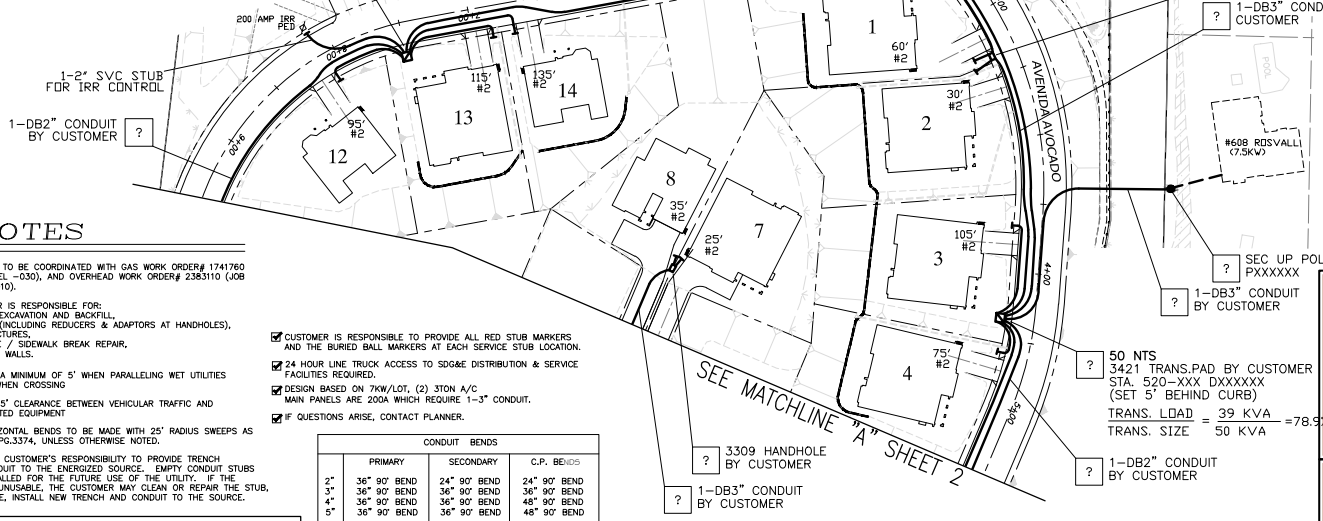
NO SCALE DOUGHERTY GROVE/AVENIDA AVOCADO

NOTES

- THIS JOB TO BE COORDINATED WITH GAS WORK ORDER# 1741760 (JOB LEVEL -0300), AND OVERHEAD WORK ORDER# 2353110 (JOB LEVEL -010).
- CUSTOMER IS RESPONSIBLE FOR: TRENCH, EXCAVATION AND BACKFILL, CONDUIT (INCLUDING REDUCERS & ADAPTORS AT HANDHOLES), SUBSTRUCTURES, CONCRETE / SIDEWALK BREAK REPAIR, RETAINING WALLS.
- MAINTAIN A MINIMUM OF 5' WHEN PARALLELING WET UTILITIES AND 6" WHEN CROSSING
- MAINTAIN 5' CLEARANCE BETWEEN VEHICULAR TRAFFIC AND PADMOUNTED EQUIPMENT
- ALL HORIZONTAL BENDS TO BE MADE WITH 25' RADIUS SWEEPS AS PER STD.PG.3374, UNLESS OTHERWISE NOTED.
- IT IS THE CUSTOMER'S RESPONSIBILITY TO PROVIDE TRENCH AND CONDUIT TO THE ENERGIZED SOURCE. EMPTY CONDUIT STUBS ARE INSTALLED FOR THE FUTURE USE OF THE UTILITY. IF THE STUB IS UNUSABLE, THE CUSTOMER MAY CLEAN OR REPAIR THE STUB, OTHERWISE, INSTALL NEW TRENCH AND CONDUIT TO THE SOURCE.

- CUSTOMER IS RESPONSIBLE TO PROVIDE ALL RED STUB MARKERS AND THE BURIED BALL MARKERS AT EACH SERVICE STUB LOCATION. FACILITIES REQUIRED.
- 24 HOUR LINE TRUCK ACCESS TO SDG&E DISTRIBUTION & SERVICE FACILITIES REQUIRED.
- DESIGN BASED ON 70W/LDT, (2) 3TON A/C MAIN PANELS ARE 200A WHICH REQUIRE 1-3" CONDUIT.
- IF QUESTIONS ARISE, CONTACT PLANNER.

CONDUIT BENDS		
PRIMARY	SECONDARY	C.P. BENDS
2" 36" 90° BEND	24" 90° BEND	24" 90° BEND
3" 36" 90° BEND	36" 90° BEND	36" 90° BEND
4" 36" 90° BEND	36" 90° BEND	48" 90° BEND
5" 36" 90° BEND	36" 90° BEND	48" 90° BEND



APPLICANT APPROVAL

APPROVAL OF THE SYSTEM DESIGN AS IT APPEARS ON THIS CONSTRUCTION DRAWING:

A. Confirms that the location of the facilities to be installed and approved by SDG&E are acceptable and are not in conflict with Applicant's planned improvements.

B. Authorizes SDG&E to proceed with the preparation of final drawings, drawings, and/or models.

Any further costs incurred by SDG&E in the processing of this project will be at the Applicant's expense.

1. There are changes to the system caused by the Applicant as authorized by the Applicant's authorized representative.

2. There is a deviation from the preliminary design information provided which will necessitate design and/or construction changes.

3. This project is considered their contract requirement has been completed by Applicant and Utility.

C. Planning for emergency response? YES NO

APPLICANT APPROVAL: _____ DATE: _____

UTILITY APPROVAL: _____ DATE: _____

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SDGE SAN DIEGO GAS & ELECTRIC
ELECTRIC CONSTRUCTION ORDER
09/09/08 STATE SERVICE

DESIGNED BY: JEFF BUENSTER
PLANNER: DEBI WILHELM (760) 480-7753

PLAT DATE: 6/20/2013
PROJECT NO: 353952-020
SHEET NO: 1 OF 2

2383111

RESTRICTION: NONE

REVISED:

WEST DOUGHERTY STREET - UG

APPROVED FINAL TRACT MAP | 29 LOTS | FALLBROOK, CA

HOME

PROPERTY
INFO

AERIALS/
MAPS

PHOTOS

TM/
SITE PLAN

FINAL MAP

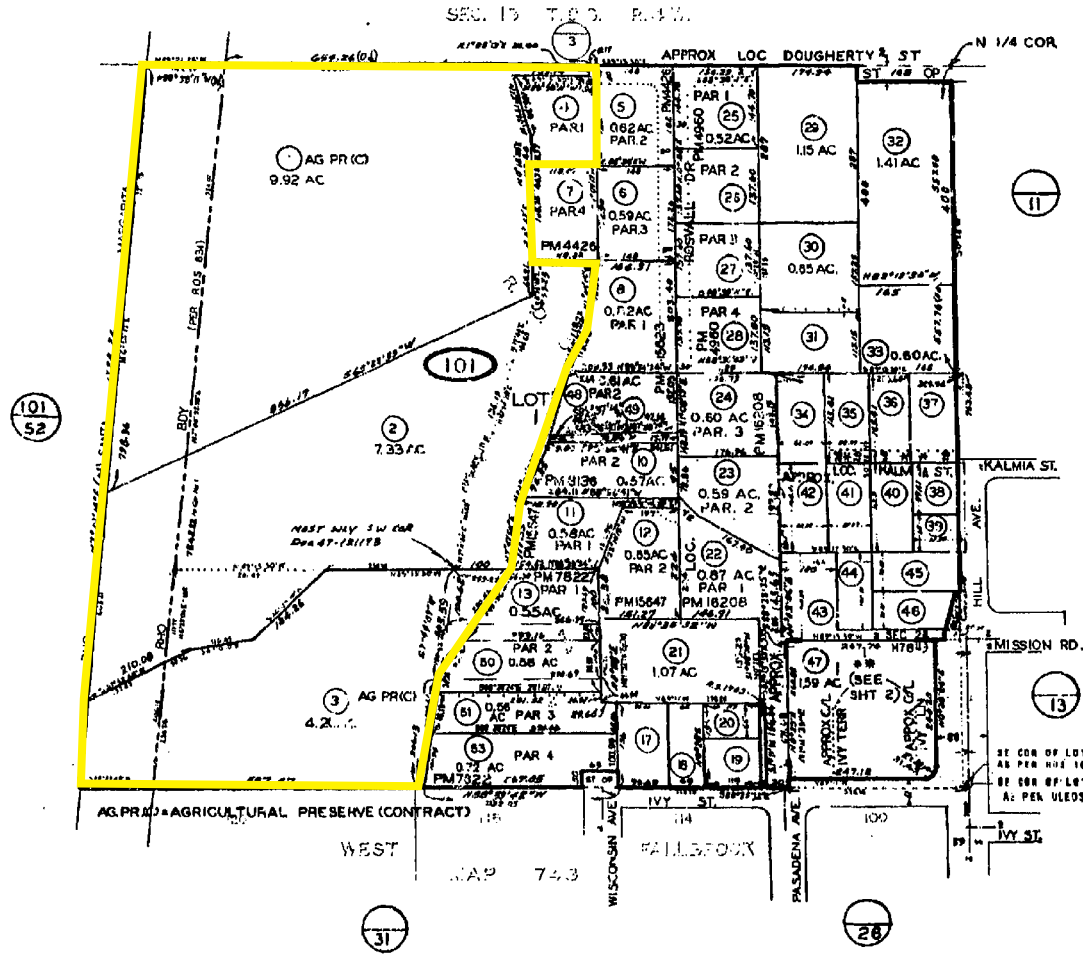
FINAL
ENGINEERING

PLAT MAP

COMPS/
MARKET INFO

PLAT MAP

103-10



1"=200'
N

10/03/01 ES

CHANGES				
BLK	OLD	NEW	YR	CUT
100	53	57-67	69	2377
	56	57-67	69	2365
	58	59-69	69	2123
	28	29-39	70	2848
	47	48-57	70	2575
	47	60-61	72	4945
	7	62-63	73	58
	57	64	74	267
	64	65-66	75	568
	41	65-66	76	578
	15	67-70	76	8481
	15	71-73	76	381
	3	74-77	77	2006
	65	78-81	78	2273
	22	82-83	79	2770
	63	84-85	89	4600
	82	86-87	90	1291
	84	88-89	90	1212
	124	90-92	91	1444
	124	93-94	92	1202
101	100	1-47	94	1004
101	9	48-49	94	1107
144	15	50-52	02	1058
184	52	53	02	1413

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUCCESSION OR BUILDING ORDINANCES.

MAP 7843 - VILLA DEL MONTE
SEC 24 - T9S-R4W - POR LOT 1.
ROS 831, 1808, 14502

NSV 0 9 2601

SAN DIEGO COUNTY ASSESSOR'S MAP BK 103 PG 10 SHT 1 OF 2



COMMERCIAL REAL ESTATE SERVICES

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mweaver@lee-associates.com

(760) 448-2458

CalBRE Lic# 01367183

AL APUZZO

aapuzzo@lee-associates.com

(760) 448-2442

CalBRE Lic# 01323215

PATRICK MILLER, CCIM

pmiller@lee-associates.com

(760) 929-9700

CalBRE Lic# 00296599

APPROVED FINAL TRACT MAP | 29 LOTS | FALLBROOK, CA

HOME

PROPERTY
INFO

AERIALS/
MAPS

PHOTOS

TM/
SITE PLAN

FINAL MAP

FINAL
ENGINEERING

PLAT MAP

COMPS/
MARKET INFO

COMPS/MARKET INFO

CMA SUMMARY

RESIDENTIAL Summary Statistics			
High	Low	Average	Median
LP:\$775,000	\$619,000	\$682,529	\$677,000
SP:\$752,000	\$600,000	\$670,666	\$670,000

RESIDENTIAL - Sold

Number of Properties: 18

Num	MLS #	Status	Style	FIAdd	ZipArea	Beds	TotB	COEDate	LotSF	Apx EstSF	DOM	LP	\$/EstSF	SP	\$/EstSF
1	150065038	SOLD	DET	2605 Clearcrest	FALLBROOK (92028)	4	3	2/11/2016	22,216	3,276	42	\$619,000	\$188.95	\$621,000	\$189.56
2	160033127	SOLD	DET	1149 McDonald Rd	FALLBROOK (92028)	4	3	8/11/2016		3,118	34	\$619,000	\$198.52	\$600,000	\$192.43
3	160001102	SOLD	DET	2267 Berwick Woods	FALLBROOK (92028)	4	3	2/26/2016	17,812	2,958	9	\$585,000 - \$635,000	\$214.67	\$610,000	\$206.22
4	160011643	SOLD	DET	1790 Armadale	FALLBROOK (92028)	3	4	8/5/2016	40,511	3,325	132	\$649,000	\$195.19	\$635,000	\$190.98
5	160005652	SOLD	DET	2163 KIRKCALDY RD	FALLBROOK (92028)	4	4	3/28/2016	17,327	3,278	10	\$639,000 - \$659,000	\$201.04	\$650,000	\$198.29
6	160015170	SOLD	DET	1167 Vantage Place	FALLBROOK (92028)	4	3	5/31/2016	21,780	2,861	23	\$669,000	\$233.83	\$660,000	\$230.69
7	160005403	SOLD	DET	2196 Kirkcaldy Road	FALLBROOK (92028)	5	4	5/11/2016	14,586	3,879	51	\$650,000 - \$670,000	\$172.72	\$665,000	\$171.44
8	160029139	SOLD	DET	1413 Devin Dr.	FALLBROOK (92028)	4	3	7/28/2016		2,756	28	\$659,990 - \$674,990	\$244.92	\$661,000	\$239.84
9	160028820	SOLD	DET	2126 Berwick Woods	FALLBROOK (92028)	4	3	5/27/2016	25,265	2,958	2	\$675,000	\$228.19	\$655,000	\$221.43
10	160019662	SOLD	DET	222 Sky Country Court	FALLBROOK (92028)	3	3	5/13/2016		2,714	8	\$679,000	\$250.18	\$680,000	\$250.55
11	150060915	SOLD	DET	522 Oak Glade Dr	FALLBROOK (92028)	4	4	2/18/2016	27,878	3,014	52	\$680,000	\$225.61	\$680,000	\$225.61
12	160028735	SOLD	DET	955 Highland Park	FALLBROOK (92028)	4	4	7/8/2016		3,278	9	\$684,900	\$208.94	\$680,000	\$207.44
13	150065387	SOLD	DET	915 Highland Park	FALLBROOK (92028)	5	3	5/26/2016		3,879	123	\$675,000 - \$697,000	\$179.69	\$685,000	\$176.59
14	150056547	SOLD	DET	824 Hillcrest Terrace	FALLBROOK (92028)	4	4	1/19/2016	27,007	3,107	63	\$669,000 - \$699,000	\$224.98	\$675,000	\$217.25
15	160000222	SOLD	DET	160 Mission Oaks	FALLBROOK (92028)	4	4	3/1/2016	26,572	3,330	16	\$679,900 - \$699,900	\$210.18	\$689,000	\$206.91
16	160005600	SOLD	DET	1994 James Gaynor St	FALLBROOK (92028)	3	3	4/29/2016	24,820	3,285	44	\$732,000	\$222.83	\$732,000	\$222.83
17	160024239	SOLD	DET	1150 Dallas	FALLBROOK (92028)	4	4	9/29/2016	25,700	3,306	57	\$768,747	\$232.53	\$752,000	\$227.47
18	160022362	SOLD	DET	3134 Larkwood Ct	FALLBROOK (92028)	3	4	7/8/2016	32,670	3,210	43	\$775,000	\$241.43	\$742,000	\$231.15
Avg						3	3		24934	3196	41	\$682,530	\$215.24	\$670,667	\$211.48
Min						3	3		14586	2714	2	\$619,000	\$172.72	\$600,000	\$171.44
Max						5	4		40511	3879	132	\$775,000	\$250.18	\$752,000	\$250.55
Med						4	3		25265	3243	38	\$677,000	\$218.75	\$670,000	\$212.35



COMMERCIAL REAL ESTATE SERVICES

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AL APUZZO

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CalBRE Lic# 01323215

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(760) 929-9700

CalBRE Lic# 00296599