



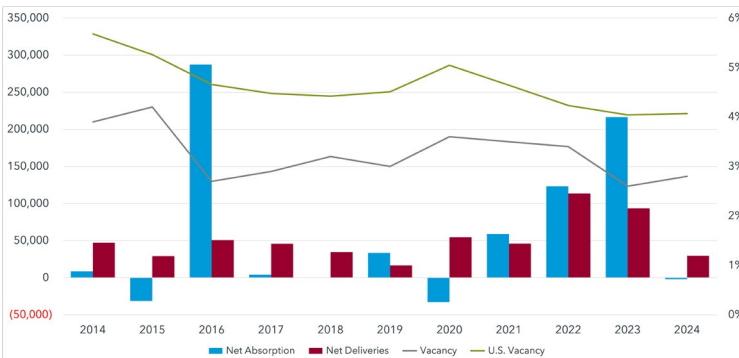
RETAIL MARKET OVERVIEW

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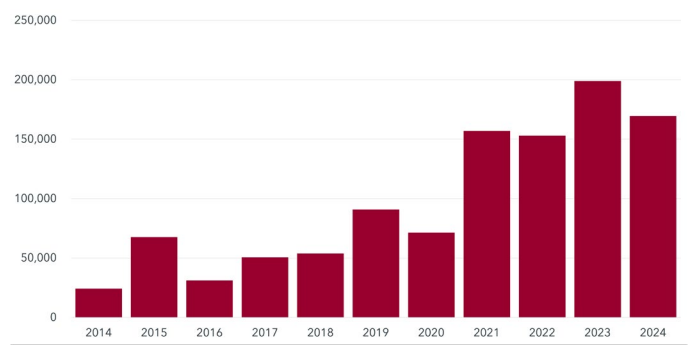
The San Luis Obispo retail market saw single-tenant availability fall below 3% at the end of 2024. Multi-tenant availability ended 2024 at 5%. The overall 3.7% availability rate shifted marginally and is at a 10 year low. Of the 7 projects under construction, totaling 170KSF, 92% is pre-leased. Sales volume peaked above \$80 million in mid-2022, and only three quarters since then have exceeded \$20 million in volume, including 24Q4. Last year, sale volume touched \$81.0 million. The 10-year running average is \$100 million. Often a target for private investors and 1031 Exchanges, retail cap rates ranged from 5.5% to 7% in 2024.

MARKET INDICATORS	Q4 2024	Q3 2024	Q2 2024	Q1 2024	Q4 2023
▼ 12 Mo. Net Absorption SF	(1,927)	11,860	(16,102)	24,782	216,630
▼ Vacancy Rate	2.80%	3.03%	3.1%	3.0%	2.6%
▲ Avg NNN Asking Rate PSF	\$28.22	\$27.95	\$27.86	\$27.71	\$27.55
▲ Sale Price PSF	\$310	\$306	\$305	\$304	\$303
▼ Cap Rate	6.14%	6.16%	6.15%	6.13%	6.12%
▲ Under Construction SF	169,534	164,834	201,000	201,000	199,000
◀ ▶ Inventory SF	15,678,912	-	15,569,987	15,569,987	15,567,867

NET ABSORPTION, NET DELIVERIES, & VACANCY



UNDER CONSTRUCTION



TOP SALE TRANSACTIONS BY SF	SIZE	SALE PRICE	BUYER / SELLER	TENANCY TYPE
120 Tank Farm Road San Luis Obispo, CA	19,067 SF	\$6,650,000 \$348.77 PSF	Krissa Fernandes Braden Farms	Single-Tenant
733 Marsh Street San Luis Obispo, CA	14,480 SF	\$6,902,893 \$476.72 PSF	Jerry & Suzanne Rava Family LLC Nicholas J. Tompkins	Multi-Tenant
751 Marsh Street San Luis Obispo, CA	8,099 SF	\$5,097,107 \$629.35 PSF	Jerry & Suzanne Rava Family LLC Nicholas J. Tompkins	Multi-Tenant

TOP LEASE TRANSACTIONS BY SF	SIZE	LANDLORD	TENANT	TENANT INDUSTRY
901 Rancho Parkway Arroyo Grande, CA	9,400 SF	Investec Real Estate Compnies	Undisclosed	Undisclosed
1121 Broad Street San Luis Obispo, CA	3,769 SF	David C. Holland	Undisclosed	Undisclosed
761 Dolliver Street Pismo Beach, CA	2,840 SF	Koch Real Estate LLC	Undisclosed	Undisclosed

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